

PB# 94-10

New Windsor Business Park

4-2-16.8

94 - 10

New Windsor Business Park
Site Plan - Rt. 300 (Dubin)

Approved 6-28-94

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

13947

Received of Rubin Management Inc. \$ 150.00
One Hundred Fifty and 00/100 DOLLARS
For Planning Board 94-10 Site Plan Application Fee

DISTRIBUTION:

FUND	CODE	AMOUNT
CB #	11628	150.00

By Dorothy H. Haggan
Town Clerk
Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

Planning Board
Town Hall
555 Union Ave.
New Windsor, N.Y. 12550

NO. 94-10

April 8, 1994

RECEIVED FROM Rubin Management, Inc.
Seven Hundred Fifty 00/100 DOLLARS
Site Plan Minimum Escrow

Account Total \$ 750.00

Amount Paid \$ 750.00

Balance Due \$ - 0 -

Mary Mason, Secy. to the P.B.

"THE EFFICIENCY LINE" AN AMPAS PRODUCT

4/8/94 13

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

14123

Received of New Windsor Business Park Assoc. \$ 150.00
One Hundred Fifty and 00/100 DOLLARS
For Planning Board Approval Fee #94-10

DISTRIBUTION:

FUND	CODE	AMOUNT
CB # 1004		150.00

By Dorothy H. Haggan
Town Clerk
Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

Planning Board
Town Hall

NO. 94-10

CP	11628	150.00

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Planning Board

Town Hall

555 Union Ave.

New Windsor, N.Y. 12553

NO. 94-10

April 8, 1994

RECEIVED FROM Rubin Management, Inc.

Seven Hundred Fifty 00/100 DOLLARS

Site Plan Minimum Escrow

Account Total \$ 750.00

Amount Paid \$ 750.00

Balance Due \$ -0-

Mary Mason, Secy. to the P.B.

"THE EFFICIENCYLINE" AN AMPS PRODUCT

4/8/94

13.

TOWN OF NEW WINDSOR

555 Union Avenue

New Windsor, NY 12550

GENERAL RECEIPT

14123

June 27, 1994

Received of New Windsor Business Park Assoc 150.00

One Hundred Fifty and 00/100 DOLLARS

For Planning Board Approval Fee #94-10

DISTRIBUTION:

FUND	CODE	AMOUNT
CP # 1004		750.00

By Dorothy H. Hargreaves

Town Clerk

Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

Planning Board

Town Hall

555 Union Ave.

New Windsor, N.Y. 12553

NO. 94-10

June 27, 1994

RECEIVED FROM New Windsor Business Park Assoc. 23

Two Thousand Three Hundred Sixty-One 32/100 DOLLARS

4% of \$50,000.00 plus 2% of \$18,066.00 (Cost Estimate \$68,066.00)

Account Total \$ 2,361.32

Amount Paid \$ 2,361.32

Balance Due \$ -0-

6/27/94 J. W. Stein

Mary Mason, Secy. to the P.B.

"THE EFFICIENCYLINE" AN AMPS PRODUCT

Planning Board

Town Hall

555 Union Ave.

New Windsor, N.Y. 12553

NO. 94-10

January 9, 1995

RECEIVED FROM New Windsor Business Park Assoc #3

Seven Thousand Five Hundred 00/100 - DOLLARS

Site Plan Bond

Account Total \$ 7,500.00

Amount Paid \$ 7,500.00

Balance Due \$ - 0 -

CK # 1055

W. Stein 1/10/95

Myna Mason, Secy to the P.B.



197-17 Hillside Avenue, Hollis, New York 11423 • (718) 464-4700 • FAX: (718) 740-4230

June 21, 1994

Town of New Windsor
Town Hall
555 Union Avenue
New Windsor, NY 12533

Att: Mr. Mark Edsal, P.E.
Town Planning Board

Re: New Windsor Business Park
Building #3
KDB Project #94-15

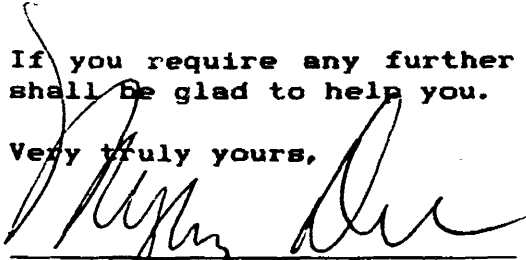
Dear Mr. Edsal,

As requested, we herewith submit our itemized cost estimate for the site improvements for the above noted project.

DESCRIPTION	UNIT	PRICE	QUANTITY	AMOUNT
<u>ITEM</u>				
Drainage incld. utilities	LF	\$ 15.00	445	\$ 6,675.00
Asphalt Pavement	SY	7.50	4,040	30,300.00
Concrete sidewalks	SY	20.00	14	280.00
Concrete curbing	LF	8.00	1,770	14,160.00
Trash Enclosure	LS	750.00	100%	750.00
Signage	LS	300.00	100%	300.00
Flagpole	LS	150.00	100%	150.00
Landscaping with seeding	LS	4,000.00	100%	4,000.00
Lighting	LS	2,000.00	100%	2,000.00
			TOTAL	\$ 58,615.00

If you require any further information, please contact me directly and I shall be glad to help you.

Very truly yours,


KWELLER, DUBIN & BAUMGARTEN
ASSOCIATES, P.C.
Myron Dubin, P.E.

Received 6/28/94 @



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

RECEIVED JUN 28 1995

- ☐ **Main Office**
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ **Branch Office**
507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

26 June 1996

MEMORANDUM

TO: Michael Babcock, Building Inspector

FROM: Mark J. Edsall, P.E., Planning Board Engineer

SUBJECT: NEW WINDSOR BUSINESS PARK SITE PLAN (LOT 16.8)
IRS SITE - P/B NO. 94-10
FIELD COMPLETION REVIEW 23 JUNE 1995

This memorandum shall confirm our field review on the afternoon of 23 June 1995 of the subject site. This was a follow-up review to our previous review on 16 November, 1994. The comments below are provided in order of my memorandum to you dated 17 November 1994:

1. It is my understanding that the modified lighting layout is acceptable.
2. The finish elevation of the pavement relative to the handicapped drop is now acceptable for the access to the main entrance of the building.
3. It is my understanding that all necessary authorizations have been received from adjoining property owners with regard to the stone boulders placed along the property lines.
4. It is my understanding that the building location as constructed complies with the site plan as approved.
5. All the parking space delineations have been completed.
6. Landscaping has been completed. Although somewhat different from the landscape plan approved by the Planning Board, I believe the general intent has been achieved.
7. See comment No. 6 above.

8. See comment No. 6 above.
9. See comment No. 6 above.
10. See comment No. 6 above. Also, it is my understanding that the Town has accepted the work along and on the lands of the Town, relative to the boulder and landscaping placed.
11. A flag pole (with flag) has been installed.
12. The paving of Commerce Drive was completed by Town forces as per a previous agreement between the former Supervisor and the Developer.
13. The finish course of the parking lot has been completed.
14. The front gate for the dumpster enclosure has been installed.
15. The drainage on the opposite side of Commerce Drive is part of a subsequent Site Plan application. As such, this will be addressed on that plan.

Based on the above, it is my opinion that each of the previous concerns have been resolved and/or addressed. As such, it is my opinion that the site performance guarantee of \$7,500 can be released to the Applicant at this time. If you have any questions concerning the above, please do not hesitate to contact me at your convenience.

Respectfully submitted,

Mark J. Edsall

Mark J. Edsall, P.E.
Planning Board Engineer

MJesh

cc: James Petro, Planning Board Chairman

a:buspk.sh

94-10 cc: J. Petro ✓
M. Edsall

TO: MICHAEL BABCOCK, BUILDING INSPECTOR
FROM: GEORGE J. MEYERS, SUPERVISOR
DATE: DECEMBER 21, 1994
SUBJECT: NEW WINDSOR BUSINESS PARK SITE PLAN (LOT 16.8)

Reference is made to the memorandum from Mark Edsall dated November 17th same subject.

The site completion performance guarantee has been reduced to \$7,500.00.

GJM/dg

94-10

December 28, 1994

Planning Board
Town of New Windsor
Town Hall
New Windsor, New York 12553

Reference: New Windsor Business Park
Building No. 3

Gentlemen:

As Owner of the adjacent property shown on the Site Plan (N/F Automotive Brake Co.) please accepted this letter as a statement of our having no objection to the boulders located along the property line between our site and New Windsor Business Park site remain in their present locations.

Very truly yours



Michael Bigg



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E.

WILLIAM J. HAUSER, P.E.

MARK J. EDSALL, P.E.

JAMES M. FARR, P.E.

17 November 1994

MEMORANDUM

TO: Michael Babcock, Town Building Inspector

FROM: Mark J. Edsall, P.E., Planning Board Engineer

SUBJECT: NEW WINDSOR BUSINESS PARK SITE PLAN (LOT 16.8)
NEW WINDSOR PLANNING BOARD NO. 94-10
FIELD COMPLETION REVIEW 16 NOVEMBER 1994

This memorandum shall confirm our field review on the afternoon of 16 November 1994 of the subject site. The purpose of our review was to review the status of completion relative to the plan stamped approved by the Planning Board on 28 June 1994.

The following items were observed with regard to the site plan:

1. The lighting layout for the site plan has been modified. It must be determined whether the lighting provided is acceptable.
2. The layout for the sidewalks at the front of the building has been changed. The 4' concrete walks which extended to each side of the entrance canopy, providing access from the four (4) handicapped parking spaces have been eliminated. A single handicapped curb drop is located directly in front of the entrance canopy. It should be noted that the current pavement elevation is not acceptable relative to the curb drop elevation.
3. Of significant concern is the fact that the project grading involved placement (disposal) of numerous stone boulders. These boulders were placed along the perimeter of the property and have encroached onto the adjoining lands of Automotive Brake, Orange County Industrial (YWCA), and the Town of New Windsor. Individual written confirmations must be received from each property owner indicating that the encroachment is not objected to. Possibly contributing to the encroachment onto Automotive Brake was the apparent elimination of the short retaining wall which was required as part of the site plan approval, and received a significant amount of discussion, due to anticipated grading problems at the site. Apparently, the site plan requirement for this wall was ignored.

☐ **Main Office**
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(914) 562-8640

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507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

17 November 1994

MEMORANDUM

PAGE 2

4. At the time of our visit we had not been provided with an as-built copy of the building location survey. Until received, it is impossible to verify proper building and improvement location within the site, which is extremely constrained.
5. All parking space delineation, including the handicapped spaces and signs were not complete.
6. The landscaping as currently installed on the site differs in many areas from the landscape plan approved by the Planning Board. In a few cases, additional or modified landscaping was provided, with the general intent being maintained. In many areas the landscaping is incomplete and significantly deficient from the approved plan. Details are further outlined below.
7. On the left (south) side of the site, the number of Austrian Prines is significantly less than depicted on the approved plan. In addition, the ground surface is unfinished and incomplete.
8. At the rear of the building (west side), all of the red maple plantings depicted have not been installed. In addition, this area is unfinished and incomplete. This area is the area of encroachment onto the Automotive Brake company.
9. On the right side (north side) of the building, all of the red maples shown on the plan have not been installed. In addition, the area is unfinished and incomplete. This area is the encroachment onto the YWCA property.
10. Along the front of the property (east side), only one of the five red maples have been installed. In addition, the ground surface is unfinished and incomplete. This area involves the encroachment onto the Town of New Windsor Town Hall property. Although this encroachment was approved by the Town Supervisor, the work appears incomplete. An acceptable of the work must be received from the Supervisor prior to close-out of this site plan.
11. The flag pole shown on the northeast corner of the building has not been installed.

17 November 1994

**MEMORANDUM
PAGE 3**

12. Of concern is the current condition of Commerce Drive, the Industrial Park roadway extended up to the site entrance. A significant grade difference exists between the site paving and the Industrial Drive, which is currently unpaved and incomplete. Although it was indicated to us by the Developer's representative that the Town will be completing this portion of Commerce Drive, I have no written verification. Curb elevations and catch basin elevations must be verified as acceptable for finish of this work.
13. Also required is the final paving (top) course for the parking lot, depicted as a 1" overlay on the plans.
14. The closing stockade gate for the dumpster enclosure has not been completed.
15. Based on my review, the outlet swale for the overall drainage is not installed.

While on site, Mike Babcock and I had the opportunity to review the above items, as well as the encroachment problems, the need for a bond, and the need for release letters from the adjoining property owners, with Carol Lee Kerr, representing the developer.

Based on the above items, it is my recommendation that a site completion Performance Guarantee in the amount of \$19,964.00 be required for the remaining work. This valve does not address the Industrial Drive work and encroachment problem. If the developer cares to complete additional work, rather than post the full bond amount recommended above, please contact me after they have completed the additional work, such that a follow-up review can be made.

If you have any questions concerning the above, please do not hesitate to contact the undersigned.

Respectfully submitted,



Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

cc: James Petro, Planning Board Chairman

A:11-17-4E.mk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/29/94

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 94-10

NAME: NEW WINDSOR BUSINESS PARK

APPLICANT: DUBIN, MYRON FOR KWELLER, DUBIN BAUMGART

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
06/28/94	PLANS STAMPED	APPROVED
04/27/94	P.B. APPEARANCE . CORRECT DRAINAGE AND MARK'S COMMENTS OF 04-27-94	ND:APPROVED COND.
04/20/94	WORKSHOP APPEARANCE	REVISE- NEXT AGENDA
04/13/94	P.B. APPEARANCE	LA:WAIV P.H. RETURN
04/06/94	WORK SHOP APPEARANCE	SUBMIT

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/29/94

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 94-10

NAME: NEW WINDSOR BUSINESS PARK

APPLICANT: DUBIN, MYRON FOR KWELLER, DUBIN BAUMGART

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
ORIG	04/08/94	MUNICIPAL HIGHWAY	05/10/94	APPROVED
ORIG	04/08/94	MUNICIPAL WATER	04/14/94	APPROVED
ORIG	04/08/94	MUNICIPAL SEWER	04/26/94	APPROVED
ORIG	04/08/94	MUNICIPAL SANITARY	/ /	
ORIG	04/08/94	MUNICIPAL FIRE	04/11/94	APPROVED
ORIG	04/08/94	PLANNING BOARD ENGINEER	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/27/94

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 94-10

NAME: NEW WINDSOR BUSINESS PARK

APPLICANT: DUBIN, MYRON FOR KWELLER, DUBIN BAUMGART

--DATE--	DESCRIPTION-----	TRANS	AMT-CHG	AMT-PAID	BAL-DUE
04/08/94	S.P. MINIMUM	PAID		750.00	
04/13/94	P.B. ATTY. FEE	CHG	35.00		
04/13/94	P.B. MINUTES	CHG	22.50		
04/27/94	P.B. ATTY FEE	CHG	35.00		
04/27/94	P.B. MINUTES	CHG	27.00		
06/22/94	P.B. ENGINEER FEE	CHG	613.00		
06/27/94	RET. TO APPLICANT	CHG	17.50		
		TOTAL:	750.00	750.00	0.00

*Please issue a check in
the amount of \$17.50 to:*

*Rubix Management, Inc.
147-34 - 175th Street
Jamaica, N.Y. 11434*



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

- ☐ **Main Office**
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507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

24 June 1994

MEMORANDUM

TO: Myra Mason, Planning Board Secretary

FROM: Mark J. Edsall, P.E., Planning Board Engineer

**SUBJECT: NEW WINDSOR BUSINESS PARK SITE PLAN
NEW WINDSOR PLANNING BOARD NO. 94-10**

**In response to your note regarding the status of the subject project,
please be advised of the following:**

- 1. I have reviewed plans with latest revision dated of
6-3-94 for the subject project. The plans appear acceptable
for stamp of approval.**
- 2. Attached is a copy of a marked-up cost estimate for the key
site improvements. My recommended total improvement amount
is \$68,066. The appropriate inspection fee should be paid
on this amount.**
- 3. Attached hereto please find a copy of the printout for
engineering review fees for this project.**

Respectfully submitted,



**Mark J. Edsall, P.E.
Planning Board Engineer**

**MJesh.
Encl.as
a:nwpark.sh**

NEW WINDSOR BUSINESS PARK
BUILDING NO. 3
COST ESTIMATE
SITE DEVELOPMENT
June 20, 1994

6/20/94
[Signature]

DESCRIPTION UNIT PRICE QUANTITY AMOUNT

ITEM

Drainage incl. utilities	LF	\$15.00	445	\$6,675.00
Asphalt Pavement	SY	\$7.50	4,040 ✓	\$30,301.00
Concrete sidewalks	SY	\$20.00	14	\$280.00
Concrete curbing	LF	\$8.00	1,770	\$14,160.00
Trash Enclosure	LS	\$750.00	100%	\$750.00
Signage	LS	\$300.00	100%	\$300.00
Flagpole	LS	\$150.00	100%	\$150.00
Landscaping with seeding	LS	\$4,000.00	100%	\$4,000.00
Lighting	LS	\$2,000.00	100%	\$2,000.00
12" PE DRAINAGE PIPE	LF	# 15	255 LF	3825
15" PE DRAINAGE PIPE	LF	# 17	150 LF	2550
9 CB	EA	# 750	9	6750
OUTLET SWALE	LS	# 3000	100%	3000
			TOTAL	\$58,616.00

68,066

2000.00
361.32

2361.32

AS OF: 06/22/94

PAGE: 1

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56 NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 94- 10

FOR WORK DONE PRIOR TO: 06/22/94

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	TIME	-----DOLLARS-----		
									EXP.	BILLED	BALANCE
94-10	72978	03/17/94	TIME	MJE	MC JON MILLER B'S	70.00	0.30	21.00			
94-10	75228	04/06/94	TIME	MJE	WS N/W BUS PARK	70.00	0.50	35.00			
94-10	75076	04/12/94	TIME	MJE	MC N/W BUS PK S/P	70.00	1.00	70.00			
94-10	75363	04/12/94	TIME	MCK	CL N/RVM COMMENTS	25.00	0.50	12.50			
94-10	75112	04/15/94	TIME	MJE	MC N/W BUS PK S/P	70.00	0.50	35.00			
94-10	75630	04/20/94	TIME	MJE	WS NW BUS PK	70.00	0.40	28.00			
94-10	75633	04/21/94	TIME	MJE	MC NW BP W/HUSTIS	70.00	0.70	49.00			
94-10	75607	04/25/94	TIME	MJE	MC NW B/P S/P	70.00	1.50	105.00			
94-10	75722	04/25/94	TIME	PJH	MR NW BUS PK-DRAINAGE	70.00	1.00	70.00			
94-10	75408	04/27/94	TIME	MCK	CL N/RVM COMMENTS	25.00	0.50	12.50			
94-10	75610	04/27/94	TIME	MJE	MC NW B/P S/P	70.00	0.80	56.00			
94-10	75759	04/27/94	TIME	MJE	MM NWBP S/P COND APPL	70.00	0.10	7.00			
								501.00			
94-10	76379	04/30/94			BILL 94-265 5/16/94					-501.00	
										-501.00	
94-10	79731	06/08/94	TIME	MJE	FM NWBP S/P	70.00	0.80	56.00			
94-10	79737	06/08/94	TIME	MJE	MC NWBP	70.00	0.30	21.00			
94-10	79790	06/21/94	TIME	MJE	MC NWBP S/P	70.00	0.50	35.00			
					TASK TOTAL			613.00	0.00	-501.00	112.00
					GRAND TOTAL			613.00	0.00	-501.00	112.00

MEMORANDUM FOR FILE

DATE: June 2, 1994

On this date: While Jon Miller was in to see
Mike B., I asked him about finalizing this plan.
He said he thought it had already been done.

I gave him copies of the 4-27-94 P.B. Minutes and
explained to him what he needed to do.

(n)

6-15-94 Left message for Carol Lee that I need
the itemized cost estimate for the site improvements.

RESULTS OF P.B. MEETING

DATE: April 27, 1994

PROJECT NAME: New Windsor Business Park PROJECT NUMBER 94-10

S.P.

LEAD AGENCY:

* NEGATIVE DEC:

M)___ S)___ VOTE:A___ N___

* M) L S) ✓ VOTE:A 3 N 0

CARRIED: YES___ NO___

* CARRIED: YES: ✓ NO___

PUBLIC HEARING: M)___ S)___ VOTE:A___ N___

WAIVED: YES___ NO___

SEND TO OR. CO. PLANNING: M)___ S)___ VOTE:A___ N___ YES___ NO___

SEND TO DEPT. OF TRANSPORT: M)___ S)___ VOTE:A___ N___ YES___ NO___

DISAPP: REFER TO Z.B.A.: M)___ S)___ VOTE:A___ N___ YES___ NO___

RETURN TO WORK SHOP: YES___ NO___

APPROVAL:

M)___ S)___ VOTE:A___ N___ APPROVED:___

M) ✓ S) L VOTE:A 3 N 0 APPR. CONDITIONALLY: 4-27-94

NEED NEW PLANS: YES___ NO___

DISCUSSION/APPROVAL CONDITIONS:_____

Drainage to be worked out with Mark
Mark's Comments of 4/27/94



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: **94- 10**

DATE PLAN RECEIVED: **RECEIVED APR - 8 1994**

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by _____
_____ for the building or subdivision of _____
_____ has been
reviewed by me and is approved ☒ _____,
disapproved ☐ _____.

If disapproved, please list reason _____

John G. ... *5/10/94*
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE

NEW WINDSOR BUSINESS PARK SITE PLAN (94-10) RT. 300

Myron Dubin appeared before the board for this proposal.

MR. DUBIN: Good evening, Mr. Chairman and gentlemen, I'm here again, I was here two weeks ago on the 13th to present an application for site plan approval for my client new New Windsor Park Business Associates. They are developing an acre and a half site on a large parcel of property that was the subject of a subdivision plan that was approved by this board in 1990, submitted at the time by Mr. Kartiganer. When we had the meeting the last time, there were one or two questions that had been raised by Mr. Edsall. We have been in contact with him since then, they had to do with some drainage problems and grading problems on one or two corners of the lot and I believe that the plans that we have submitted basically comply with the requests that he made at the last conversations that we had.

MR. PETRO: Mark, you have quite a few notes here, do you want to touch on some of them?

MR. EDSALL: Actually, to go back in history since the past meeting I was in possession early this week of a set of plans intended to address the previous comments and as well some discussions that we had at the workshop. Those plans although they clarified the general intent of the grading on site remained to have some problems with the individual elevations shown for different components in the systems. The comments I have in front of you were based on, that I have presented to you, were based on the fact that I hadn't received a new plan when I had to get these comments prepared. Since these comments were done, we in fact received this afternoon at 2:15 in the afternoon a set of plans which I just got tonight and I was up at Town Hall early this afternoon early and they weren't received as of yet. I've looked them over and it appears that my first concerns that I had earlier this week have been addressed. Now there are some minor things I really want to sit down and doublecheck but I believe we've gone in the right direction. Again I

didn't have time to look at it closely but I believe they've made every attempt to address the comments.

MR. PETRO: Let me put it to you this way very blunt. This applicant is here for final approval and we want to know is there any outstanding, I'm not putting you on the spot, is there any outstanding one or two items that we have to discuss other than regular Planning Board issues?

MR. EDSALL: Other than the drainage which I would ask that you if you decide to take action tonight you make it subject to the availability of me doublechecking some items, that is the only concern I have left.

MR. LANDER: Basically, Mark, what has to be done here is that they have to show you that it will work all right. I see in your comments about this water going onto another piece over property here which would be the other side of the road. Doesn't it drain to--

MR. DUBIN: Yes, it goes onto another piece of property that is owned by Windsor Park and as a matter of fact, that was part of the original approval granted by the Town back in 1990. I have a copy of the plans here, if you'd like to look at them.

MR. LANDER: I just seen in Mark's comments that this would be draining onto another piece of property.

MR. DUBIN: As a matter of fact, we were there in the afternoon when they had the cloud burst, the water would be going down through an area, we checked the pipe at the road, there's a 60 inch pipe that goes under Route 300 and you can see that there's a pronounced swale there, the water was coming down in the direction and getting away.

MR. LANDER: If the drainage can work, only if the drainage can work.

MR. EDSALL: I believe it can but I'm not going to sit here and tell you that it can.

MR. LANDER: Subject to that.

MR. EDSALL: One of my concerns and I think I'll just openly state it we have another development, commercial development in this Town that ignored the details of the drainage for probably six years and we now find ourselves in a position where one of the tenants is in a position of being concerned about property damage because it is impossible now at this point to put in the correct drainage system. Because the developer ignored the drainage for at least 6 site plans and now has found themselves in a position where the bindings are fixed, the elevations are fixed, the roadway is fixed, the sewer and water lines are fixed and the storm water lines that are required cannot be put in at the correct elevations without creating surcharging into parking lots of private properties. I'm concerned that that is an improper way to go through the planning process. I've bent over backwards with this applicant to try to keep this moving. I just think we should open our eyes on the following site plans, give proper respect to the fact that we have piping systems that have to make it from point A to point B and this is a very flat site in many regards. The discharge pipe as you'll see here which on sheet one is shown as existing and really doesn't exist and it's over three foot below the existing grade so you can't discharge to a point three foot below the grade.

MR. LANDER: Which one?

MR. EDSALL: One and 1A do not exist, even though sheet one still says it exists. It doesn't. And the problem I have is that we have to make sure these things work. It's something that can't be left to a field decision because it's been proven in the past that that always doesn't work. And I have no problem with this one because it just so happens I've talked to John about it, this is the highest lot on the site so this one in is the furthest one in to the left, as you come into the commercial drive so there's a very good chance that this one is probably the easiest to develop from a drainage standpoint to get it off the site.

MR. DUBIN: You're going to find that it will work, the invert elevation as we exit the site is about 351 and

the 60 on each pipe that goes under Route 300 that would be the eventual outlet, the elevation of Route 300 at that particular point goes 355, there's about three feet of cover over the pipe and then you have got 5 feet to the invert so you are about eight feet below 355, in other words, you're about 347 so I see 4 foot difference in elevation.

MR. EDSALL: How many feet away?

MR. DUBIN: 4 or 500 feet.

MR. EDSALL: What system do you have connecting these two points?

MR. DUBIN: Right now we don't have piping, we have an open swale but I know we can make that pitch.

MR. EDSALL: There's no open swale in existence. In fact, the discharge line shown on the plan is three foot below the ground so again, we have to get it from point A to point B in an acceptable manner based on the proper storm incident and ensure that there's not backups or property damage, that is my only comment.

MR. DUBIN: I'm sure on this one we can make it happen but I'm cautioning that I don't believe that we should approach the following site plans in this same manner. Other than way back when we got the job approved I think Kartiganer had shown piping design for that and we decided at that time let's leave the piping design off the initial site plan approval.

MR. EDSALL: I don't believe that.

MR. DUBIN: I never found that drawing right now but--

MR. EDSALL: Unfortunately as each site plan comes in on its own merit, this board has the responsibility to review it to make sure that each system functions such that if John decides to go out of the country and retire, if the south side of the road is never constructed we're not left with a system that doesn't operate.

MR. DUBIN: We agree.

MR. PETRO: I think what Mr. Edsall is trying to say as far as this application is concerned we're going to try to work with the applicant. He feels confident, you're confident that it is going to work. He feels confident that it will work. It is the highest lot of all 3 so we don't need to be a brain surgeon to know that it is going to work. But in the future, we need to have proper drainage present, more information and correct information so we can proceed in a more orderly manner. Do you have anything else on this site plan that you want to discuss?

MR. VAN LEEUWEN: No, I checked it all out before we saw this last meeting.

MR. PETRO: Yes, we did.

MR. VAN LEEUWEN: I was pretty well satisfied.

MR. LANDER: I have no problem as long as the drainage will work, Mr. Chairman. I'll make a motion to that effect.

MR. PETRO: We have to go with the negative dec.

MR. VAN LEEUWEN: I'll second that motion for negative dec.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec in the New Windsor Business Park site plan on Route 300. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: We have fire approval on 4/11/94, sewer approval 4/26/94 and water approval on 4/14/94.

MR. VAN LEEUWEN: The only thing outstanding is some of the drainage, right?

MR. PETRO: And Mark feels that he can work with the applicant in this instance and get it resolved again. I'll say it one more time. It is the highest parcel of the 3 parcels on this side of the road so it seems that it would work and Mr. Dubin has done the calculations and he claims it will work. But we still will make any action subject to the approval of the Planning Board engineer or review of the engineer.

MR. VAN LEEUWEN: Make a motion to approve subject to the comments that Mr. Edsall has made.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval to the New Windsor Business Park site plan on Route 300 subject to the final review of the drainage problem being resolved and approved by Mr. Edsall. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. LANDER	AYE
MR. PETRO	AYE



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E.
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JAMES M. FARR, P.E.

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- ☐ **Branch Office**
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Milford, Pennsylvania 18337
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**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: NEW WINDSOR BUSINESS PARK SITE PLAN (LOT 16.8)
PROJECT LOCATION: NEW WINDSOR BUSINESS PARK (OFF ROUTE 300)
SECTION 4-BLOCK 2-LOT 16.8
PROJECT NUMBER: 94-10
DATE: 27 APRIL 1994
DESCRIPTION: THE APPLICATION INVOLVES THE CONSTRUCTION OF A
17,640 SQUARE FOOT BUILDING ON THE EXISTING
1.5 +/- ACRE PARCEL WITHIN THE PARK. THE PLAN WAS
PREVIOUSLY REVIEWED AT THE 13 APRIL 1994 PLANNING
BOARD MEETING.

1. At the previous meeting, it was noted that the plan was generally acceptable, with the exception of some site grading and drainage problems with the design. Since that time, I have received a revised plan; however, this plan also includes some inconsistencies and problems.

Although the general concept of the grading has been somewhat clarified and improved, the following concerns still remain with the plan submitted:

- a. It should be acknowledged that site grading on the adjoining New Windsor Business Park site will be required.
- b. The indicated rim elevation for Catch Basin 2 is in error and should be corrected. All rim elevations for the drainage system should be double-checked.
- c. The plan indicates Catch Basin 1 and the outlet pipe as existing. Apparently, these were never constructed and, in fact, do not exist as indicated on the plan. Inasmuch as the invert elevation is over 3' below finished grade, an outlet location must be indicated. Proper ability to discharge drainage so as not to cause other problems, must be a part of this site design.

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

-2-

PROJECT NAME: NEW WINDSOR BUSINESS PARK SITE PLAN (LOT 16.8)
PROJECT LOCATION: NEW WINDSOR BUSINESS PARK (OFF ROUTE 300)
SECTION 4-BLOCK 2-LOT 16.8
PROJECT NUMBER: 94-10
DATE: 27 APRIL 1994

- d. We have received a stormwater calculation and evaluation relative to this site only. Based on same, it appears that the 12" drainage piping along the west side of the site nominally meets the site requirements. Although I generally do not recommend acceptance of any commercial site piping less than 15", the Board may wish to accept the smaller size piping.
 - e. A note should be added to the plan indicating that additional versa block wall and/or curb wall should be installed, as necessary, based on the final construction conditions encountered on the site. It is my belief that additional such walls will be required along the north and west property lines, given the grades shown.
 - f. I recommend that the "chisel" bottom to the curb wall be eliminated and replaced with a flat bottom with bearing capacity.
 - g. A drop curb should be indicated in the area of the refuse storage concrete pad. Otherwise, will it be possible to lift the dumpsters up and down over the 6" curb?
 - h. There appears to be an inconsistency in the BC (bottom curb) elevation in front of the main canopy entrance. All curb elevations should be double checked.
 - i. Within the existing commercial drive, a catch basin should be installed on the opposite side of the drive from Catch Basin 1 (i.e. along the south curb of the drive).
2. It is noted that an existing sanitary manhole exists within this property nearly opposite the main entrance. If this sanitary manhole is to be dedicated to the Town of New Windsor (or is already a Town owned facility), an appropriate easement should be identified on the plan.
3. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA and make a determination regarding environmental significance.

Respectfully submitted


Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

A:NWBUS2.mk



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

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**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: NEW WINDSOR BUSINESS PARK SITE PLAN (LOT 16.8)
PROJECT LOCATION: NEW WINDSOR BUSINESS PARK (OFF ROUTE 300)
SECTION 4-BLOCK 2-LOT 16.8
PROJECT NUMBER: 94-10
DATE: 13 APRIL 1994
DESCRIPTION: THE APPLICATION INVOLVES THE CONSTRUCTION OF A
17,640 SQUARE FOOT BUILDING ON THE EXISTING
1.5 +/- ACRE PARCEL WITHIN THE PARK. THE PLAN WAS
REVIEWED ON A CONCEPT BASIS ONLY.

1. The site plan as proposed appears to comply with the minimum bulk requirements for Use Group A-14 of the Planned Industrial (PI) Zoning District.

The Board should note that the Applicant has based the parking requirements calculation on the full building footprint (total square footage), rather than only on the office portion of the building. As such, the site plan actually includes some "excess" parking.

2. The Applicant has modified the plans in several areas to comply with the discussions/comments from the Technical Work Session. The only outstanding issue, to my understanding, are concerns with regard to the site grading and drainage for the project. These concerns are as follows:
 - a. Overall, it is questioned whether the existing contours shown on Sheet 3 of the plans are current and accurate. Do they reflect the actual conditions on the site?
 - b. With regard to the proposed contours, these contours do not "close" in several areas and they are not integrated with the indicated existing contours.
 - c. I am concerned with regard to steep sloped areas behind the curb lines along the northwesterly and southwesterly property lines.

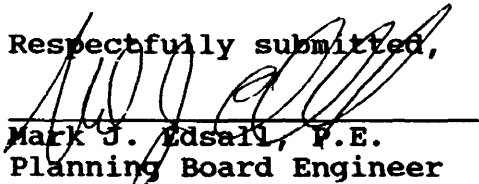
TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

-2-

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PROJECT LOCATION: NEW WINDSOR BUSINESS PARK (OFF ROUTE 300)
SECTION 4-BLOCK 2-LOT 16.8
PROJECT NUMBER: 94-10
DATE: 13 APRIL 1994

- d. The plans indicate 1% slope for all collection piping on the site. Either this value is incorrect or the invert elevations are incorrect, since the calculated slopes (based on the inverts) do not agree.
 - e. The rim elevations of the catch basins must be coordinated with the proposed contours on the plan. In one location, there appears to be a 2 foot error between the catch basin rim elevation and the elevation information based on proposed contours. All catch basin rim elevations should be coordinated with proposed grades.
 - f. The plan indicates 12 inch stormwater piping for the westerly collection branch. It is my opinion that all piping on commercial sites should be minimum 15 inch diameter. If 12 inch piping is permitted, adequate capacity should be verified, especially given the extremely "flat" slopes which may exist.
- 3. The Planning Board may wish to assume the position of Lead Agency under the SEQRA process.
 - 4. The Planning Board should determine, for the record, if a Public Hearing will be necessary for this Site Plan, per its discretionary judgement under Paragraph 48-19.C of the Town Zoning Local Law.
 - 5. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA and make a determination regarding environmental significance.
 - 6. At such time that the Planning Board has made further review of this application, further engineering reviews and comments will be made, as deemed necessary by the Board.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

A:NWBUS.mk



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**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

(TOWN) VILLAGE OF New Windsor

P/B # 94-10

WORK SESSION DATE: 20 APR 94

APPLICANT RESUB.
REQUIRED:

REAPPEARANCE AT W/S REQUESTED: No

Corrected Plans

PROJECT NAME: N/w Bus Plc

PROJECT STATUS: NEW _____ OLD X

REPRESENTATIVE PRESENT: Myron D. Dineen

MUNIC REPS PRESENT: BLDG INSP. Wk. office
FIRE INSP. X
ENGINEER X
PLANNER _____
P/B CHMN. _____
OTHER (Specify) _____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

Only got a few point elevations

still not complete
survey doesn't close

need to fix plans
next week agenda

4MJ91 pbwsform

**RETAKE
OF
PREVIOUS
DOCUMENT**

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

-2-

PROJECT NAME: NEW WINDSOR BUSINESS PARK SITE PLAN (LOT 16.8)
PROJECT LOCATION: NEW WINDSOR BUSINESS PARK (OFF ROUTE 300)
SECTION 4-BLOCK 2-LOT 16.8
PROJECT NUMBER: 94-10
DATE: 13 APRIL 1994

- d. The plans indicate 1½ slope for all collection piping on the site. Either this value is incorrect or the invert elevations are incorrect, since the calculated slopes (based on the inverts) do not agree.
 - e. The rim elevations of the catch basins must be coordinated with the proposed contours on the plan. In one location, there appears to be a 2 foot error between the catch basin rim elevation and the elevation information based on proposed contours. All catch basin rim elevations should be coordinated with proposed grades.
 - f. The plan indicates 12 inch stormwater piping for the westerly collection branch. It is my opinion that all piping on commercial sites should be minimum 15 inch diameter. If 12 inch piping is permitted, adequate capacity should be verified, especially given the extremely "flat" slopes which may exist.
3. The Planning Board may wish to assume the position of Lead Agency under the SEQRA process.
 4. The Planning Board should determine, for the record, if a Public Hearing will be necessary for this Site Plan, per its discretionary judgement under Paragraph 48-19.C of the Town Zoning Local Law.
 5. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA and make a determination regarding environmental significance.
 6. At such time that the Planning Board has made further review of this application, further engineering reviews and comments will be made, as deemed necessary by the Board.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

A:NWBUS.mk

1891.30

43
119



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

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**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

TOWN/VILLAGE OF New Windsor

P/B # 94-10

WORK SESSION DATE: 20 APR 94

APPLICANT RESUB.
REQUIRED: Corrected Plans

REAPPEARANCE AT W/S REQUESTED: No

PROJECT NAME: N/W Bus Plc.

PROJECT STATUS: NEW _____ OLD X

REPRESENTATIVE PRESENT: Myron D. Dineen

MUNIC REPS PRESENT: BLDG INSP. Wk. office
FIRE INSP. X
ENGINEER X
PLANNER _____
P/B CHMN. _____
OTHER (Specify) _____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

Only got a few point elevations

still not complete
survey doesn't close

need to fix plans
next week agenda

4MJJE91 pbwsform

NEW WINDSOR BUSINESS PARK SITE PLAN (94-10) RT. 300

Myron Dubin appeared before the board for this proposal.

MR. KRIEGER: I want to make the board aware of the fact that my wife has a business which is a tenant of this applicant. I have no information that it effects this or has any effect on this application at all but I just want to make the board aware.

MR. PETRO: Duly noted.

MR. VAN LEEUWEN: He has no voting powers anyway.

MR. PETRO: It's noted for the minutes.

MR. DUBIN: Mr. Chairman, members of the board and Mr. Edsall, we're here tonight seeking approval of our site plan with the development of a lot in a business park known as New Windsor Business Park. The applicant has been before the board in the past to obtain a site plan subdivision approval and for the approval of our buildings that have already been erected on the site. Tonight we're interested in the development of lot 16.8 which is part of Section 4 Block 2. If you look at the drawings, Drawing A1, you'll find on the right-hand side there's a summary of the site information and the use and bulk regulations. As you can see, the minimum lot area for this particular site in this zone is 40,000 square feet. And in our particular case, we have slightly in excess of 66. We exceed the minimum lot width requirements, minimum lot width of 150 feet. We have about 274. If you look at all of the requirements there you'll see that we fall well within the parameters of the zoning ordinance for this particular area. The building itself that we propose to put up is a one story office building, which is a permitted use in this district. The building will have a floor area or a site coverage of 17,640 square feet. Of that, 11,565 square feet will actually be office areas itself and the balance of approximately 6,000 square feet will be used for covered parking. And in addition, we have 88 additional parking spaces on the site. There is sewer, water and storm drainage

available. We intend to connect into all of the available utilities. Last Wednesday, we had a meeting, a work session with Mr. Edsall. We reviewed the plans. He drew our attention to several minor problems that we had. We corrected them. We brought them back on Friday. I don't know if he's had an opportunity to even review them but I believe that we've addressed most of the issues or all of the issues that he raised and as I say, we're here therefore seeking site plan approval.

MR. VAN LEEUWEN: Can I ask you a question? How come all of a sudden you're going for covered parking? You you never had that before.

MR. DUBIN: It's true but there's an anticipated client who may want to rent the building who desires to have about a dozen secure parking spaces. We're going to provide this in this portion of the building in the northerly portion of the building. It will be open in the sense that the space that would normally be occupied by a ribbon of windows instead will be open. There will be a security grill but it will be essential covered parking.

MR. VAN LEEUWEN: Roof over it?

MR. DUBIN: We'll have a roof and walls. It will look like a balance of the finished office except that where the ribbon windows would be we just have an open grill.

MR. LANDER: You're not taking into account for your parking calculations the 12 spaces that would be in there?

MR. DUBIN: No, the 88 spaces are all exterior in other words the 12 spaces that we have in the building are in addition to the 88 spaces. If the building was completely developed a hundred percent for office space, we would satisfy the parking requirement for the zoning ordinance of 88. We are, for the actual number of office space that we anticipate at the moment, we're actually giving you much more than the code requires.

MR. VAN LEEUWEN: John is giving us more than we ask

for?

MR. DUBIN: On occasion.

MR. VAN LEEUWEN: That is a switch.

MR. LANDER: This is the last lot on the end of the road there?

MR. DUBIN: That is correct. It's the last lot.

MR. VAN LEEUWEN: Did you buy the piece alongside yet John or are you working on it?

MR. JOHN MILLER: Which one, Quality?

MR. VAN LEEUWEN: Yes.

MR. MILLER: No, I got the other side of the road to worry about.

MR. LANDER: We have fire?

MR. PETRO: Approved 4/11/94.

MR. LANDER: Sewer and water they are all approved?

MR. PETRO: Yes. All the drainage problems. Mark, are you going to get that straightened out with the applicant so we don't have to go through that at this point?

MR. EDSALL: Mr. Dubin is correct, the balance of the corrections have been accomplished and I'm satisfied with the plan with the exception of the grading. There's problems simply if you look at the contours as compared to even the catch basin, grate elevations, there's breaks, there is, I think a two foot break on the western corner. If you look at the contours and subtract the 6 inch curb reveal there's a 25 foot difference to the elevation of the catch basin grate that is shown. There's problems with the grading and that just has to be resolved.

MR. LANDER: Can you can straighten all that out Mark?

MR. EDSALL: When you have a two foot break, it can be accomplished.

MR. DUBIN: If you can just identify the area.

MR. VAN LEEUWEN: I have a suggestion, why don't you get together with our engineer and get the problem straightened away and come back at the next meeting.

MR. LANDER: I have no problem with that.

MR. PETRO: You're not going to straighten it out now.

MR. VAN LEEUWEN: I'm making a motion that we declare ourselves lead agency.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare itself lead agency on the New Windsor Business Park site plan. Roll call.

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. LANDER	AYE
MR. PETRO	AYE
MR. DUBALDI	AYE

MR. VAN LEEUWEN: What I suggest you do is get with our engineer, Mark, and come back to the next meeting with your engineer, I don't think any of the guys have a problem but there's certain things that very to be resolved before we can get final approval.

MR. PETRO: Public hearing I don't see where we need one.

MR. VAN LEEUWEN: Make a motion to waive public hearing.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the

April 13, 1994

45

New Windsor Planning Board waive public hearing on the New Windsor Business Park Site Plan. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. LANDER	AYE
MR. PETRO	AYE
MR. DUBALDI	AYE

RESULTS OF P.B. MEETING

DATE: April 13, 1994

PROJECT NAME: D.W. Business Park PROJECT NUMBER 94-10

LEAD AGENCY:

* NEGATIVE DEC:

M) ✓ S) 0 VOTE: A 4 N 0

* M) S) VOTE: A N

CARRIED: YES ✓ NO

* CARRIED: YES: NO

PUBLIC HEARING: M) ✓ S) 1 VOTE: A 4 N 0

WAIVED: YES ✓ NO

SEND TO OR. CO. PLANNING: M) S) VOTE: A N YES NO

SEND TO DEPT. OF TRANSPORT: M) S) VOTE: A N YES NO

DISAPP: REFER TO Z.B.A.: M) S) VOTE: A N YES NO

RETURN TO WORK SHOP: YES NO

APPROVAL:

M) S) VOTE: A N APPROVED:

M) S) VOTE: A N APPR. CONDITIONALLY:

NEED NEW PLANS: YES NO

DISCUSSION/APPROVAL CONDITIONS:

Resolve Engineer Comments and return

NEW WINDSOR BUSINESS PARK

296 Temple Hill Road
New Windsor, New York 12553
(914) 565-0434

April 8, 1994

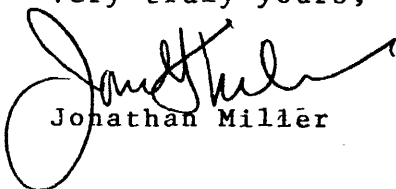
Planning Board
Town of New Windsor
555 Union Avenue
New Windsor, NY 12550

Reference: Site Plan Approval
Commerce Drive, New Windsor, NY

Gentlemen;

This letter will serve as acknowledgement that the site plan approval as requested by our consulting engineer, Myron Dubin, under the above referred to property is not within the flood plain.

Very truly yours,



Jonathan Miller

PLANNING BOARD FILE NUMBER: 94-10

MEMORANDUM FOR FILE

DATE: April 8, 1994

On this date: An application was submitted for this project not bearing the original signatures and the Short Environmental Form was also submitted unsigned. I spoke to Stuart Cartner and Charles Kerr and asked that they get me the original application and Environmental Form before their appearance at the P.B. Meeting. They said they would.

②

Received at
4/13/94
Planning Board
Meeting

②



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: **94 - 10**

DATE PLAN RECEIVED: **RECEIVED APR - 8 1994**

The maps and plans for the Site Approval New Windsor Business R.

Subdivision _____ as submitted by

_____ for the building or subdivision of

_____ has been

reviewed by me and is approved ☒

disapproved ☐

If disapproved, please list reason _____

HIGHWAY SUPERINTENDENT DATE

[Signature] **4/14/94**

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 94- 10

DATE PLAN RECEIVED: RECEIVED APR - 8 1994

The maps and plans for the Site Approval ✓

Subdivision _____ as submitted by

_____ for the building or subdivision of

NEW WINDSOR BUSINESS PARK has been

reviewed by me and is approved _____,

disapproved _____.

If disapproved, please list reason _____

NO SEWER DETAIL

HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

[Signature] 4.26.94
SANITARY SUPERINTENDENT DATE

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: 11 April 1994

SUBJECT: New Windsor Business Park

Planning Board Reference Number: PB-94-10

Dated: 8 April 1994

Fire Prevention Reference Number: FPF-94-013

A review of the above referenced subject site plan was conducted on 11 April 1994.

This site plan is acceptable.

Plans Dated 7 April 1994.

Robert F. Rodgers, C.C.A.(mvz)
Robert F. Rodgers, C.C.A.

RFR/mvz



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

- ☐ Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- ☐ Branch Office
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

1-3

TOWN/VILLAGE OF New Windsor P/B # -

WORK SESSION DATE: 6 April 1994 APPLICANT RESUB.
REQUIRED: New Plans

REAPPEARANCE AT W/S REQUESTED: No

PROJECT NAME: New Windsor Business Park

PROJECT STATUS: NEW OLD

REPRESENTATIVE PRESENT: Jon Miller / Myron Dubin^{PE} / Stu

MUNIC REPS PRESENT: BLDG INSP. X
FIRE INSP. SK
ENGINEER X
PLANNER
P/B CHMN.
OTHER (Specify)

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

last lot on left 15-1-3
Fix on pks 1-8+8 & add detail (blue)
occupancy OK w/2hr sep - per Bob
use A-1K
88 spaces only, need 4 on
height 23 1/2
pks 24 backout try to shift things
could refuse loc
ck grading - too many lines
P

4MJ91 pbwsform

Planning Board
Town of New Windsor
555 Union Avenue
New Windsor, NY 12553

(This is a two-sided form)

APPLICATION FOR SITE PLAN, SUBDIVISION PLAN,
OR LOT LINE CHANGE APPROVAL

1. Name of Project New Windsor Business Park
2. Name of Applicant Myron Dubin for
Kweller, Dubin and Phone 718/464-4700
Baumgarten, P.C.
Address 197-17 Hillside Avenue, Hollis, New York 11423
(Street No. & Name) (Post Office) (State) (Zip)
New Windsor Business
3. Owner of Record Park Associates Three Phone 718/995-4577
Address 147-39 175th Street Jamaica New York 11434
(Street No. & Name) (Post Office) (State) (Zip)
4. Person Preparing Plan Myron Dubin Phone 718/464-4700
Address 197-17 Hillside Avenue Hollis New York 11423
(Street No. & Name) (Post Office) (State) (Zip)
5. Attorney N.A. Phone _____
Address _____
(Street No. & Name) (Post Office) (State) (Zip)
6. Person to be notified to represent applicant at Planning
Board Meeting Myron Dubin Phone 718/464-4700
(Name)
7. Location: On the North side of Commerce Drive
(Street)
_____ feet of _____
(Direction) (Street) Newburgh
8. Acreage of Parcel 1.52 9. Zone PI, 9A. School Dist Consolidated
9B. If this property is within an Agricultural District
containing a farm operation or within 500 feet of a
farm operation located in an Agricultural District,
please complete the attached Agricultural Data Statement.
10. Tax Map Designation: Section 4 Block 2 Lot 16.8
11. This application is for Site plan approval

12. Has the Zoning Board of Appeals granted any variance or a Special Permit concerning this property? No

If so, list Case No. and Name _____

13. List all contiguous holdings in the same ownership

Section 4 Block 2 Lot(s) 15.1; 15.2

4

2

16.1; 16.2; 16.3; 16.4

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed.

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

OWNER'S ENDORSEMENT

(Completion required ONLY if applicable)

COUNTY OF ORANGE

SS.:

STATE OF NEW YORK

Jonathan Miller being duly sworn, deposes and says that he resides at 455 Glen Cove Rd., Roslyn in the County of Nassau and State of New York 11545 and that he is (the owner in fee) of Partner (Official Title)

of the Corporation which is the Owner in fee of the premises described in the foregoing application and that he has authorized Myron Duben to make the foregoing application as described herein.

I HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND INFORMATION, AND ALL STATEMENTS AND INFORMATION CONTAINED IN THE SUPPORTING DOCUMENTS AND DRAWINGS ATTACHED HERETO ARE TRUE.

Sworn before me this

13th day of April 1994

Carolee M. Kerr

Jonathan Miller
(Owner's Signature)

Myron Duben
(Applicant's Signature)

(Title)

14-16-4 (287)-Text 12

PROJECT I.D. NUMBER

817.21

SEQR

Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT/SPONSOR Myron Dubin	2. PROJECT NAME New Windsor Business Park
3. PROJECT LOCATION: Commerce Drive Municipality New Windsor County Orange	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) 300 Commerce Drive; N/S Commerce Drive 628.24' East of Temple Hill Road	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: Construction of one story office building (17,640 s.f.) with accessory parking on vacant parcel of land within an existing Office Park	
7. AMOUNT OF LAND AFFECTED: Initially _____ acres Ultimately _____ acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency name and permit/approval Town of New Windsor; Planning Board	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: MYRON DUBIN	Date: 4/13/94
Signature: <i>Myron Dubin</i>	

If the action is in the Coastal Area, and you are a state agency, complete the
Coastal Assessment Form before proceeding with this assessment

OVER

**PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)**

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.07 If No, a negative declaration may be superseded by another involved agency. <input type="checkbox"/> Yes <input type="checkbox"/> No	
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)	
C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly. NO	
C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly. NO	
C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly. NO	
C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly. NO	
C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly. NO	
C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly. NO	
C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly. NO	
D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, explain briefly	

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

<input type="checkbox"/> Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:	
_____ Name of Lead Agency	
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from responsible officer)
_____ Date	

by person
preparing plan

TOWN OF NEW WINDSOR PLANNING BOARD
SITE PLAN CHECKLIST

ITEM

- | | |
|--|---|
| 1. <input checked="" type="checkbox"/> Site Plan Title | 29. <input checked="" type="checkbox"/> Curbing Locations |
| 2. <input checked="" type="checkbox"/> Applicant's Name(s) | 30. <input checked="" type="checkbox"/> Curbing Through Section |
| 3. <input checked="" type="checkbox"/> Applicant's Address(es) | 31. <input checked="" type="checkbox"/> Catch Basin Locations |
| 4. <input checked="" type="checkbox"/> Site Plan Preparer's Name | 32. <input checked="" type="checkbox"/> Catch Basin Through Section |
| 5. <input checked="" type="checkbox"/> Site Plan Preparer's Address | 33. <input checked="" type="checkbox"/> Storm Drainage |
| 6. <input checked="" type="checkbox"/> Drawing Date | 34. <input checked="" type="checkbox"/> Refuse Storage |
| 7. <input type="checkbox"/> Revision Dates | 35. <input type="checkbox"/> Other Outdoor Storage |
| 8. <input checked="" type="checkbox"/> AREA MAP INSET | 36. <input checked="" type="checkbox"/> Water Supply |
| 9. <input checked="" type="checkbox"/> Site Designation | 37. <input checked="" type="checkbox"/> Sanitary Disposal Sys. |
| 10. <input checked="" type="checkbox"/> Properties Within 500 Feet of Site | 38. <input checked="" type="checkbox"/> Fire Hydrants |
| 11. <input checked="" type="checkbox"/> Property Owners (Item #10) | 39. <input checked="" type="checkbox"/> Building Locations |
| 12. <input checked="" type="checkbox"/> PLOT PLAN | 40. <input checked="" type="checkbox"/> Building Setbacks |
| 13. <input checked="" type="checkbox"/> Scale (1" = 50' or lesser) | 41. <input type="checkbox"/> Front Building Elevations |
| 14. <input checked="" type="checkbox"/> Metes and Bounds | 42. <input checked="" type="checkbox"/> Divisions of Occupancy |
| 15. <input checked="" type="checkbox"/> Zoning Designation | 43. <input type="checkbox"/> Sign Details |
| 16. <input checked="" type="checkbox"/> North Arrow | 44. <input checked="" type="checkbox"/> BULK TABLE INSET |
| 17. <input checked="" type="checkbox"/> Abutting Property Owners | 45. <input checked="" type="checkbox"/> Property Area (Nearest 100 sq. ft.) |
| 18. <input type="checkbox"/> Existing Building Locations | 46. <input checked="" type="checkbox"/> Building Coverage (sq. ft.) |
| 19. <input type="checkbox"/> Existing Paved Areas | 47. <input checked="" type="checkbox"/> Building Coverage (% of Total Area) |
| 20. <input type="checkbox"/> Existing Vegetation | 48. <input checked="" type="checkbox"/> Pavement Coverage (Sq. Ft.) |
| 21. <input type="checkbox"/> Existing Access & Egress | 49. <input checked="" type="checkbox"/> Pavement Coverage (% of Total Area) |
| | 50. <input checked="" type="checkbox"/> Open Space (Sq. Ft.) |
| | 51. <input checked="" type="checkbox"/> Open Space (% of Total Area) |
| | 52. <input checked="" type="checkbox"/> No. of Parking Spaces Proposed. |
| | 53. <input checked="" type="checkbox"/> No. of Parking Required. |

PROPOSED IMPROVEMENTS

22. ☒ Landscaping
 23. ☒ Exterior Lighting
 24. ☒ Screening
 25. ☒ Access & Egress
 26. ☒ Parking Areas
 27. ☐ Loading Areas
 28. ☒ Paving Details
 (Items 25-27)

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGEMENT:

The Site Plan has been prepared in accordance with this checklist and the Town of New Windsor Ordinances, to the best of my knowledge.

By: _____

Licensed Professional

Date: _____

PROXY STATEMENT
for submittal to the
TOWN OF NEW WINDSOR PLANNING BOARD

Jonathan Miller, deposes and says that he
resides at 147-39 175th Street
(Owner's Address)
in the County of Queens
and State of New York
and that he is the owner in fee of Commerce Drive, New Windsor
Sec. 4; Bl. 2 Lot 15.3 (Orange County)
which is the premises described in the foregoing application and
that he has authorized Myron Dubin
to make the foregoing application as described therein.

Date: April 8, 1994

Jonathan Miller
(Owner's Signature)

Carolee M. Kerr
(Witness' Signature)

CAROLEE M. KERR
Notary Public, State of New York
Qualified in Orange County
No. 4895276
Commission Expires May 26, 1995

THIS FORM CANNOT BE WITNESSED BY THE PERSON OR REPRESENTATIVE OF
THE COMPANY WHO IS BEING AUTHORIZED TO REPRESENT THE APPLICANT
AND/OR OWNER AT THE MEETINGS.

RECEIVED APR - 8 1994

94 - 10

PROXY STATEMENT
for submittal to the
TOWN OF NEW WINDSOR PLANNING BOARD

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(Owner's Address)
in the County of Queens
and State of New York
and that he is the owner in fee of Commerce Drive, New Windsor
Sec. -1 Bl. 2 Lot 15.3 (Orange County)
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that he has authorized Myron Dubin
to make the foregoing application as described therein.

Date: April 8, 1994

[Signature]
(Owner's Signature)

[Signature]
(Witness' Signature)
CAROLEE M. KERR
Notary Public, State of New York
Qualified in Orange County
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TOWN OF NEW WINDSOR PLANNING BOARD
SITE PLAN CHECKLIST

94 - 10

RECEIVED APR - 8 1994

ITEM

- | | |
|--|---|
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| 25. <input checked="" type="checkbox"/> Access & Egress | 53. <input checked="" type="checkbox"/> No. of Parking Required. |
| 26. <input checked="" type="checkbox"/> Parking Areas | |
| 27. <input type="checkbox"/> Loading Areas | |
| 28. <input checked="" type="checkbox"/> Paving Details (Items 25-27) | |

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGEMENT:

The Site Plan has been prepared in accordance with this checklist and the Town of New Windsor Ordinances, to the best of my knowledge.

By: _____

Licensed Professional

Date: _____

4/8/94

N/F
ORANGE COUNTY
INDUSTRIAL

N/F
AUTOMOTIVE BRAKE CO.

N/F
TOWN OF
NEW WINDSOR

N/F
NEW WINDSOR
BUSINESS PARK ASSOCIATES

SITE PLAN

SCALE: 1"=20'-0"

TABLE OF REPUTED OWNERS

LOT	REPUTED OWNER
4-2-3.222	ORANGE COUNTY INDUSTRIAL
4.2	TOWN OF NEW WINDSOR
16.1	NEW WINDSOR BUSINESS PARK ASSOCIATES
16.2	NEW WINDSOR BUSINESS PARK ASSOCIATES
16.3	NEW WINDSOR BUSINESS PARK ASSOCIATES
16.4	NEW WINDSOR BUSINESS PARK ASSOCIATES
16.5	NEW WINDSOR BUSINESS PARK ASSOCIATES
16.6	NEW WINDSOR BUSINESS PARK ASSOCIATES
16.7	NEW WINDSOR BUSINESS PARK ASSOCIATES
16.8	NEW WINDSOR BUSINESS PARK ASSOCIATES
18	AUTOMOTIVE BRAKE CO.
19	AUTOMOTIVE BRAKE CO.

LEGEND

HD PE	HIGH DENSITY POLYETHYLENE PIPE
35X	NEW CONTOURS
	EXISTING CURB
	NEW CURB
	NEW CURB WALL
	EXISTING CURB TO BE REMOVED
Q	EXISTING FIRE HYDRANT
Q	EXISTING SANITARY MANHOLE
Q	WATER VALVE
	NEW DRAIN
	NEW CATCH BASIN
	NEW EXTERIOR LIGHTING
S-S	NEW SANITARY SERVICE
W-W	NEW WATER SERVICE
EW-EW	EXIST. WATER SERVICE

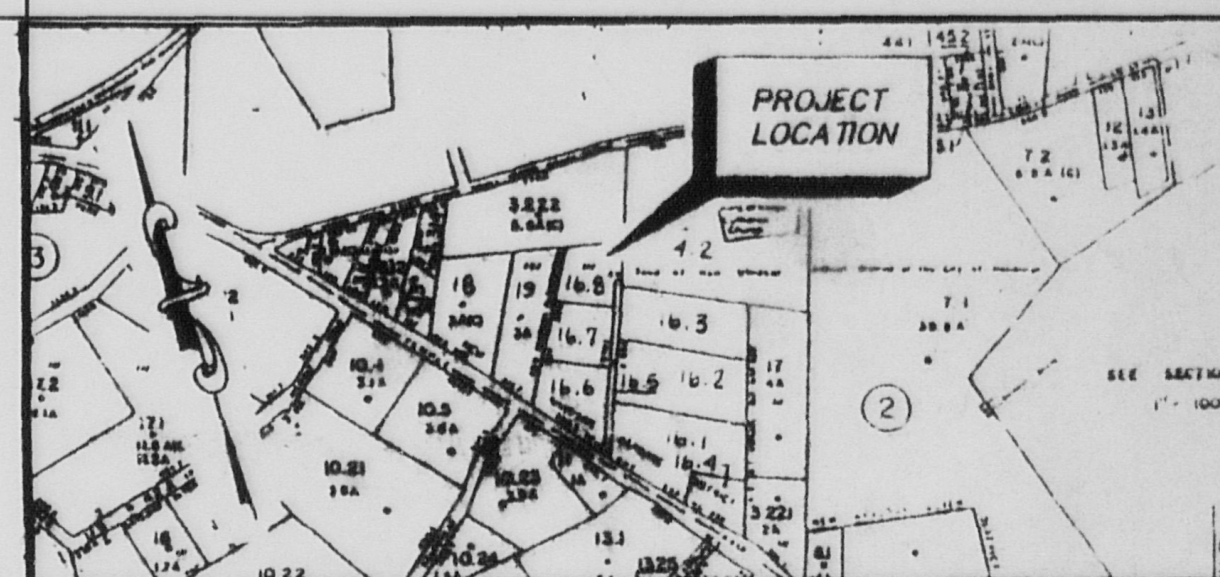
LOCATION MAP

SCALE: 1" = 1 1/2 MILES



TAX MAP

SCALE: 1" = 800'



SITE INFORMATION

LOCATION: NEW WINDSOR BUSINESS PARK
296 TEMPLE HILL ROAD
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

TAX MAP DESIGNATION:
SECTION: 4 BLOCK: 2
LOT: 16.8

ZONE: PLANNED INDUSTRIAL (PI)

USE GROUP: A14

DESIGNATED USE: OFFICE BUILDING FOR BUSINESS AND
PROFESSIONAL OFFICES

WATER DISTRICT: NO. 6

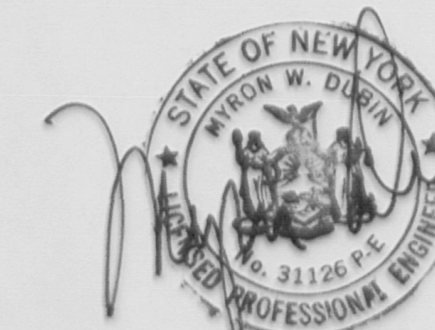
SEWER DISTRICT: NO. 17

FIRE DISTRICT: VAILS GATE

USE/BULK REGULATIONS

ITEM	REQUIRED	PROVIDED
LOT AREA	40,000 SF	66,078 SF
LOT WIDTH	150' MIN	274'
FRONT YARD	50' MIN	68.12'
SIDE YARD/TOTAL	15/40' MIN	48.91'/97.96'
REAR YARD	20' MIN	49.01'
BUILDING HEIGHT	6 INCHES/FOOT OF DISTANCE TO NEAREST PROPERTY LINE 48.91'/2 = 24.45'	14'
FLOOR AREA RATIO	0.6 MAX	11,565 66,078 = .18
BUILDING COVERAGE		17,640 SF (27% OF TOTAL AREA)
PAVEMENT COVERAGE		36,362 SF (55% OF TOTAL AREA)
PARKING	1 SPACE/200 SF 88 SPACES	88 SPACES
OPEN SPACE		12,078 SF (18% OF TOTAL AREA)

SITE PLAN APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON JUN 28 1994
BY CARMEN R. BURDET, JR.
SECRETARY



REV. No.	DATE	BY	REVISIONS
6-5-94	RS		CONFORMED DRAWING FOR FINAL APPROVAL
4-25-94	RH		GENERAL GRADE CHANGES REVISED ROAD

KWELLER, DUBIN & BAUMGARTEN
ASSOCIATES, P.C.

ENGINEERS and ARCHITECTS
197-17 HILLSIDE AVENUE
HOLLIS, N.Y. 11423
TEL: (718) 464-4700 FAX: (718) 740-4230

PROJECT: PROPOSED OFFICE BUILDING
NEW WINDSOR BUSINESS PARK
296 TEMPLE HILL ROAD
ORANGE COUNTY, NEW YORK

CLIENT: NEW WINDSOR BUSINESS PARK ASSOCIATES

TITLE: SITE PLAN

JOB No. 94-15 DRAWN BY R.H. SCALE AS NOTED DATE 4/18/94 OF 4

A

1

N/F
ORANGE COUNTY
INDUSTRIAL

N/F
AUTOMOTIVE BRAKE CO.

N/F
TOWN OF
NEW WINDSOR

N/F
NEW WINDSOR
BUSINESS PARK ASSOCIATES

ONE STORY BUILDING

LANDSCAPE PLAN
SCALE: 1"=20'-0"

PLANTING KEY

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
AR	17	ACER RUBRUM	RED MAPLE	2" - 2 1/2" CAL.	B&B	PLANT 40' ON CENTER
JH	114	JUNIPERUS HORIZONTALIS PLUMOSA	ANDORRA JUNIPER	18" - 24" HT.	B&B	PLANT 3' ON CENTER
PN	21	PINUS NIGRA	AUSTRIAN PINE	3'-4' HT.	B&B	
TO	10	THUJA OCCIDENTALIS NIGRA	DARK AMERICAN ABORVITAE	5' - 6' HT.	B&B	
BP	4	BETULA Papyrifera	PAPER BIRCH	6' - 8' HT.	B&B	

PLANTING LEGEND

	RED MAPLE (DECIDUOUS)
	AUSTRIAN PINE (EVERGREEN)
	DARK AMERICAN ABORVITAE (EVERGREEN)
	ANDORRA JUNIPER (EVERGREEN)
	SEEDED AREA
	WHITE BIRCH (DECIDUOUS)

SITE PLAN APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON JUN 28 1994
BY CARMEN R. DUBALDI, JR.
SECRETARY

REV. No.	DATE	BY	REVISIONS
1	4-25-94	RH	REVISED ROAD
KWELLER, DUBIN & BAUMGARTEN ASSOCIATES, P.C.			
ENGINEERS and ARCHITECTS 197-17 HILLSIDE AVENUE HOLLIS, N.Y. 11423 TEL: (718) 464-4700 FAX: (718) 740-4230			
PROJECT: PROPOSED OFFICE BUILDING NEW WINDSOR BUSINESS PARK 296 TEMPLE HILL ROAD ORANGE COUNTY, NEW YORK			A
CLIENT: NEW WINDSOR BUSINESS PARK ASSOCIATES			
TITLE: LANDSCAPE PLAN			2
JOB No. 94-15	DRAWN BY R.H.	SCALE AS NOTED	

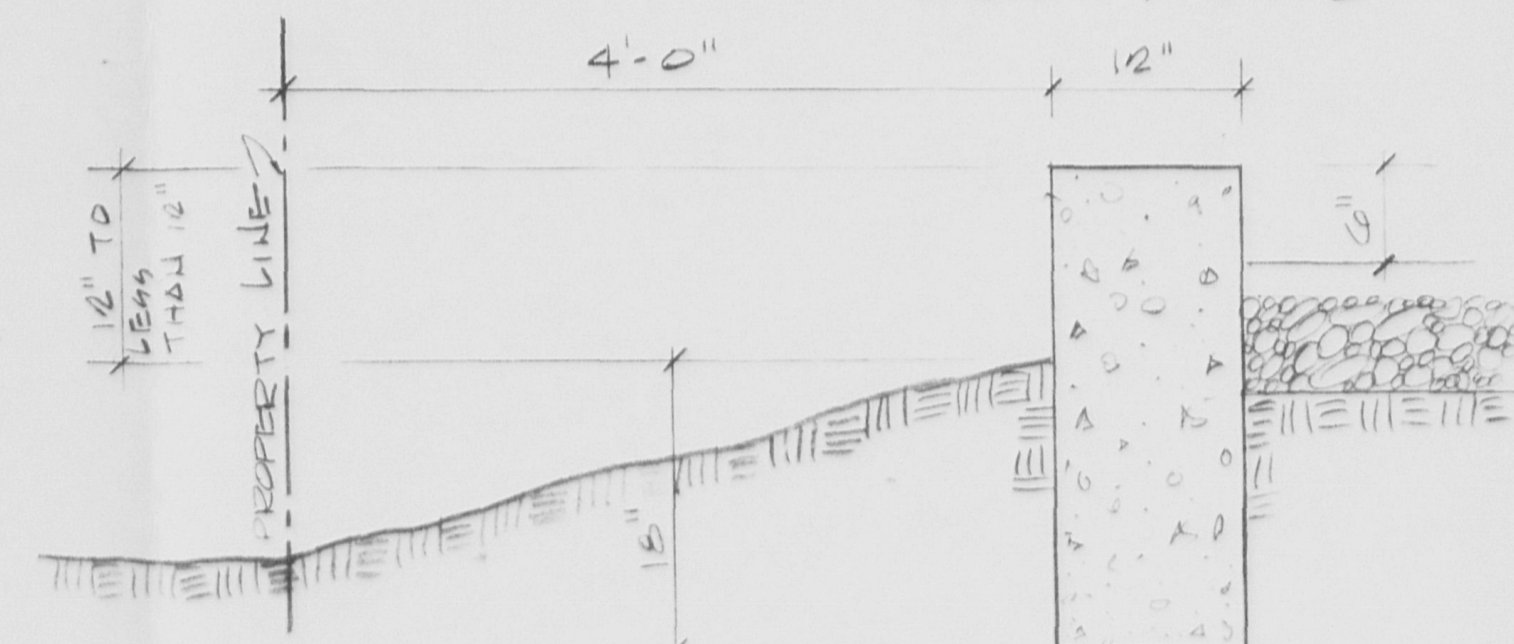
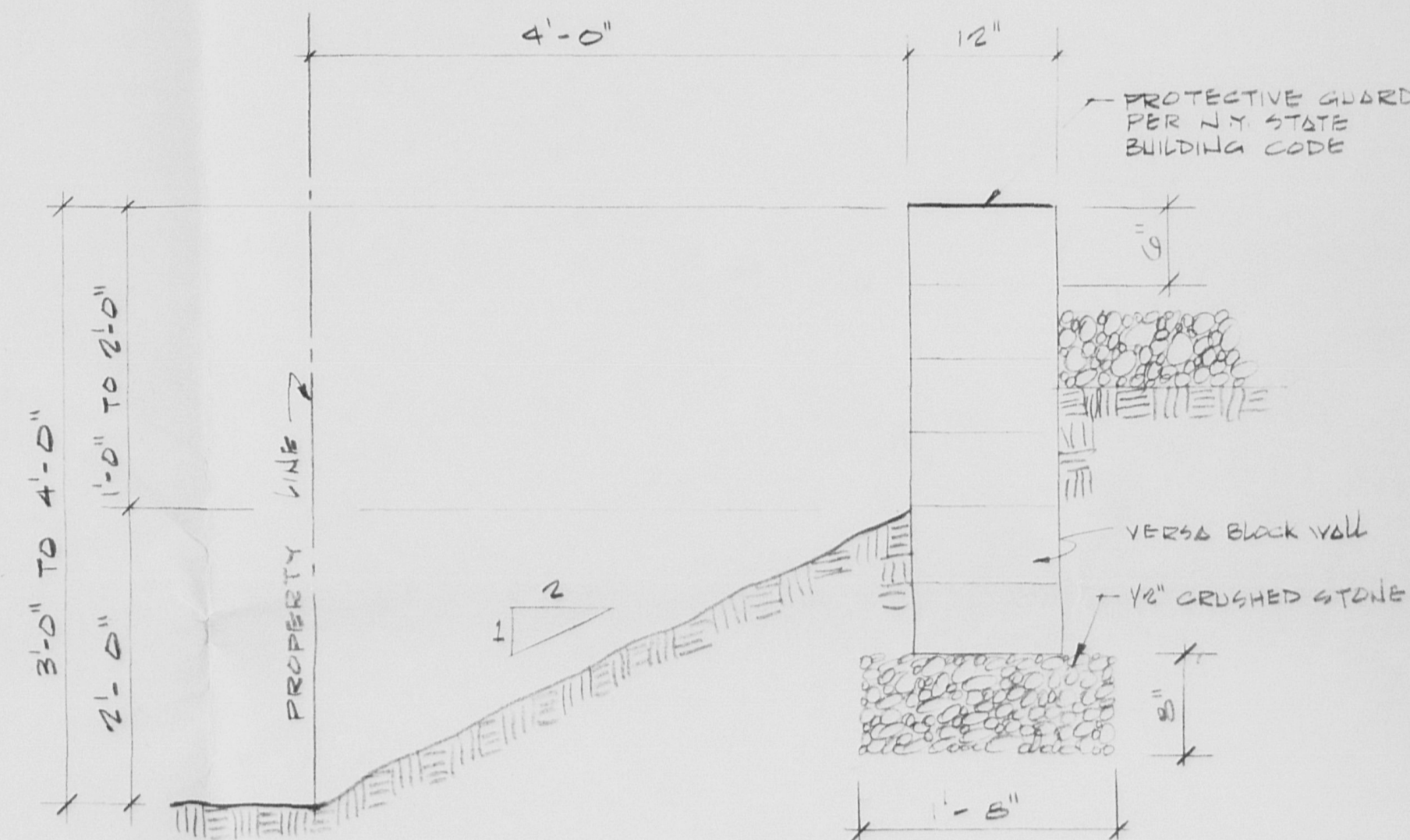


TABLE OF STORM DRAINS

SEE PLAN DRAWING A-3 FOR LOCATIONS

DRAIN	1	1A	2	3	4	5	6	7	8
PIPE		8" DIA.	15" DIA.	15" DIA.	12" DIA.	12" DIA.	12" DIA.	12" DIA.	12" DIA.
LENGTH		30'	45'	36'	75'	41'	76'	91'	51'
RIM	354.50'	354.50'	355.80'	357.00'	357.67'	354.80'	355.10'	355.50'	355.80'
INVERT	351.58' IN 15" 351.82' IN 15" 351.25' OUT 15"	351.10' IN 351.10' OUT	352.03' IN 352.03' OUT	352.39' IN 352.39' OUT	353.14' OUT	352.02' IN 352.02' OUT	352.40' IN 352.40' OUT	352.85' IN 352.85' OUT	353.11' OUT

NOTES : 1. ALL DRAINAGE PIPING SHALL BE HEAVY DUTY HIGH DENSITY SMOOTH POLYETHYLENE PIPE.
LENGTH = CENTERLINE M.H. TO CENTERLINE M.H.



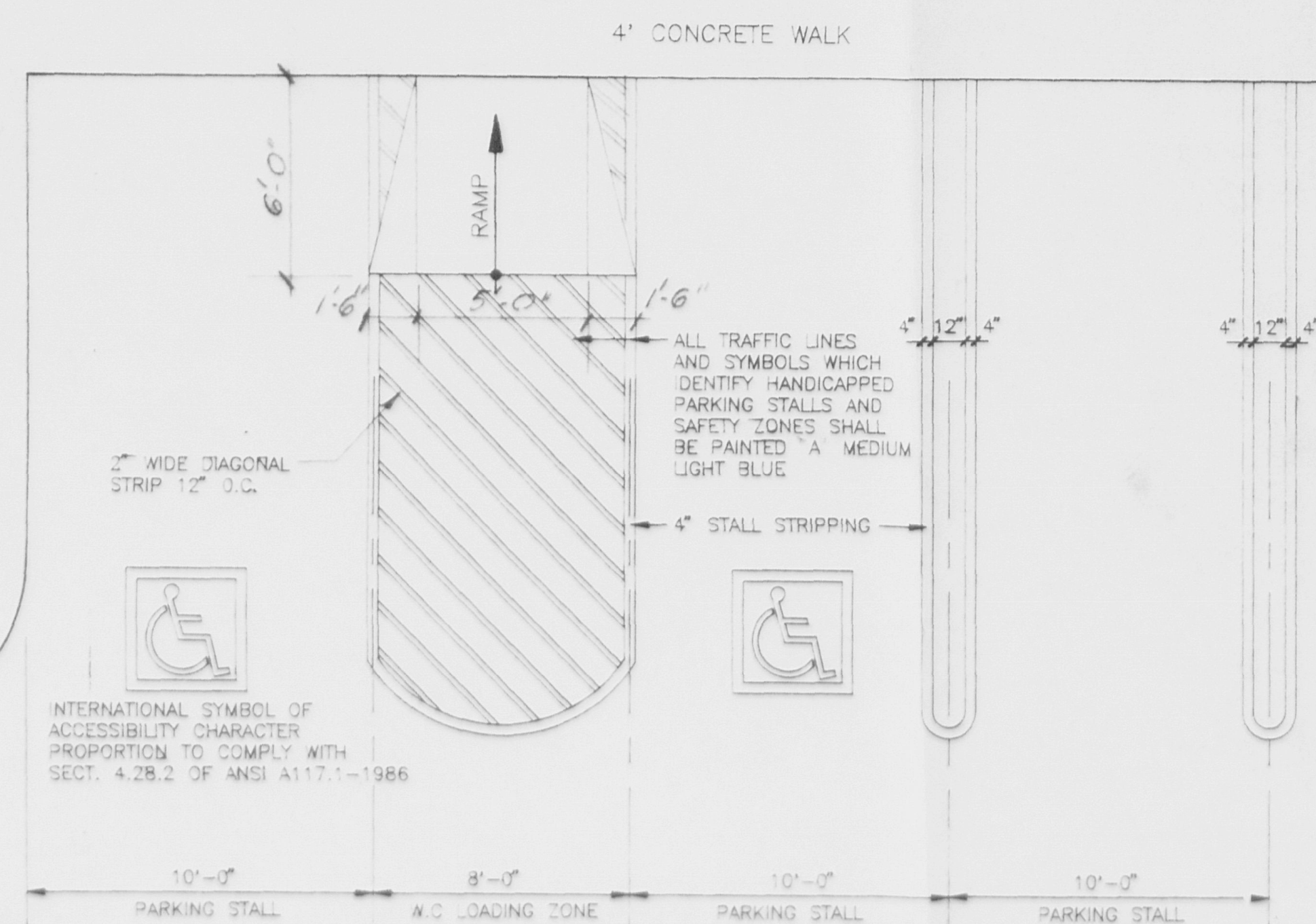
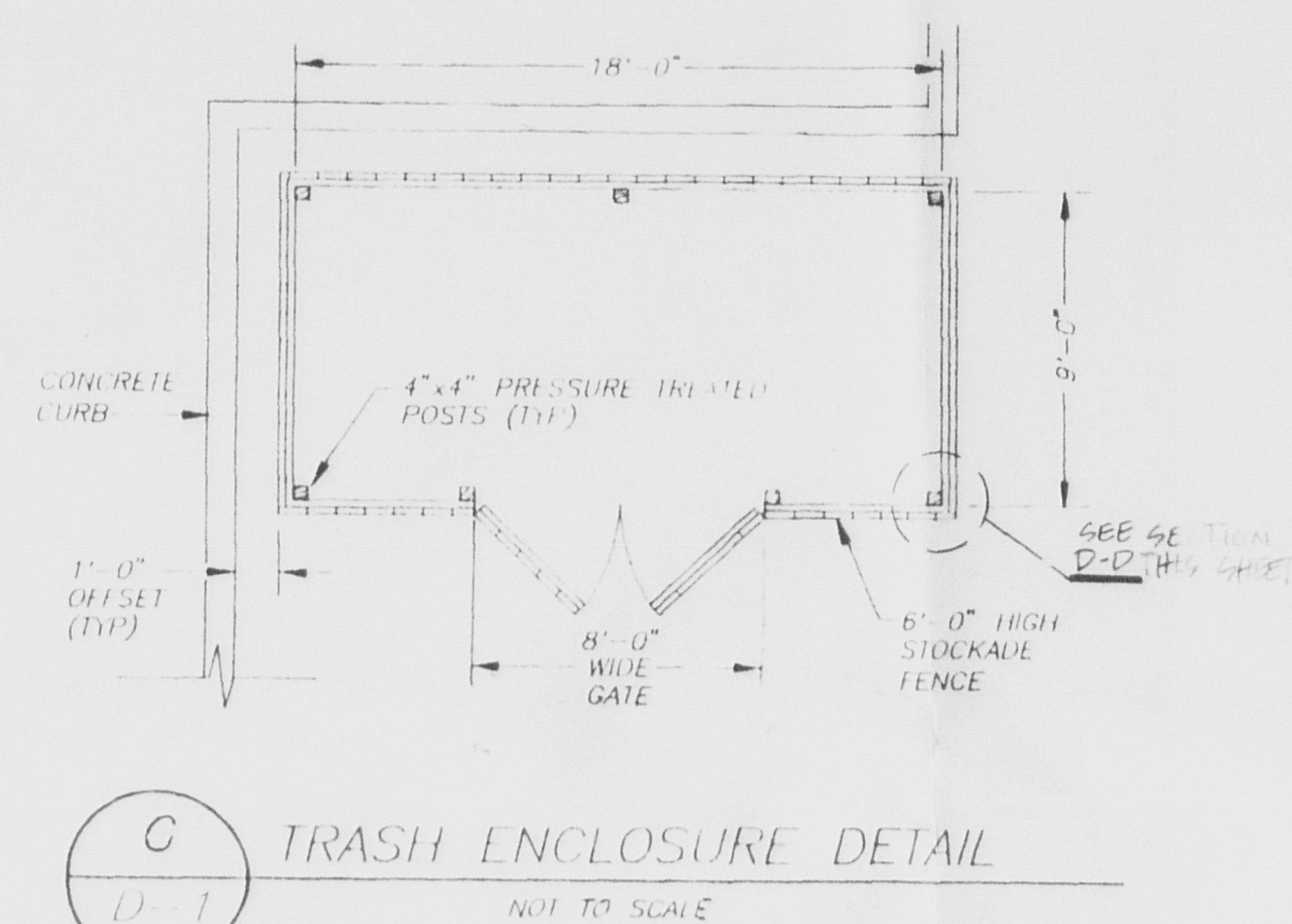
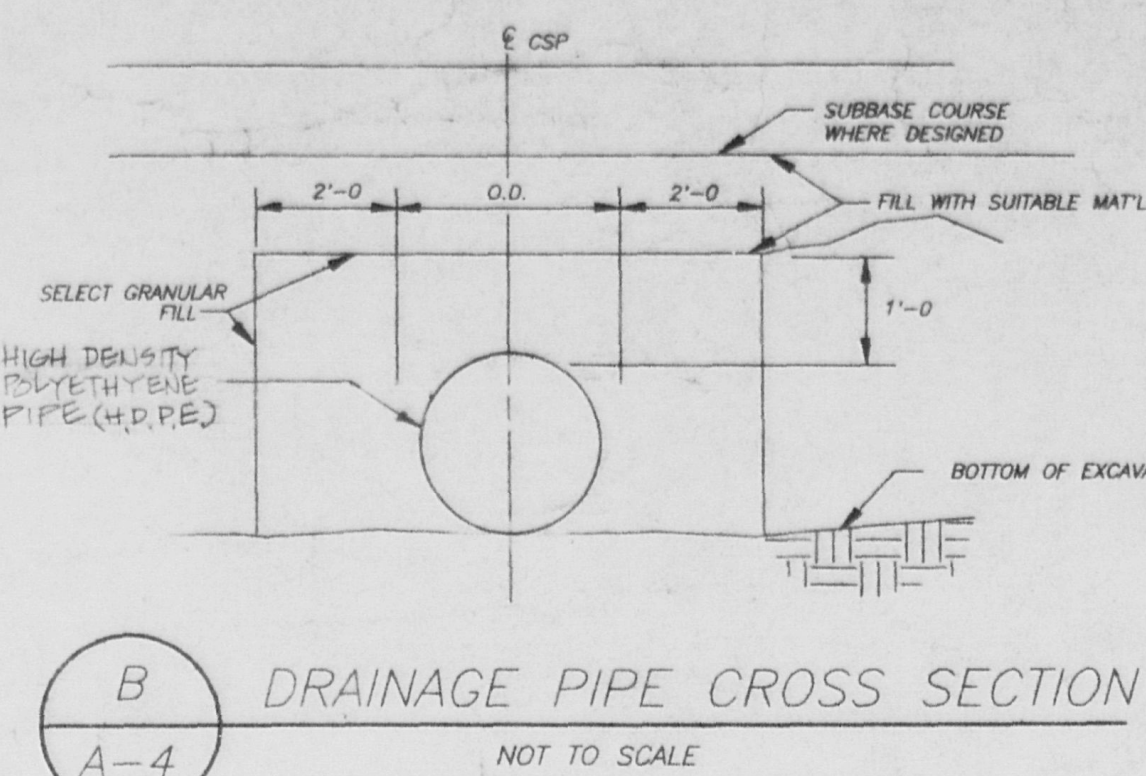
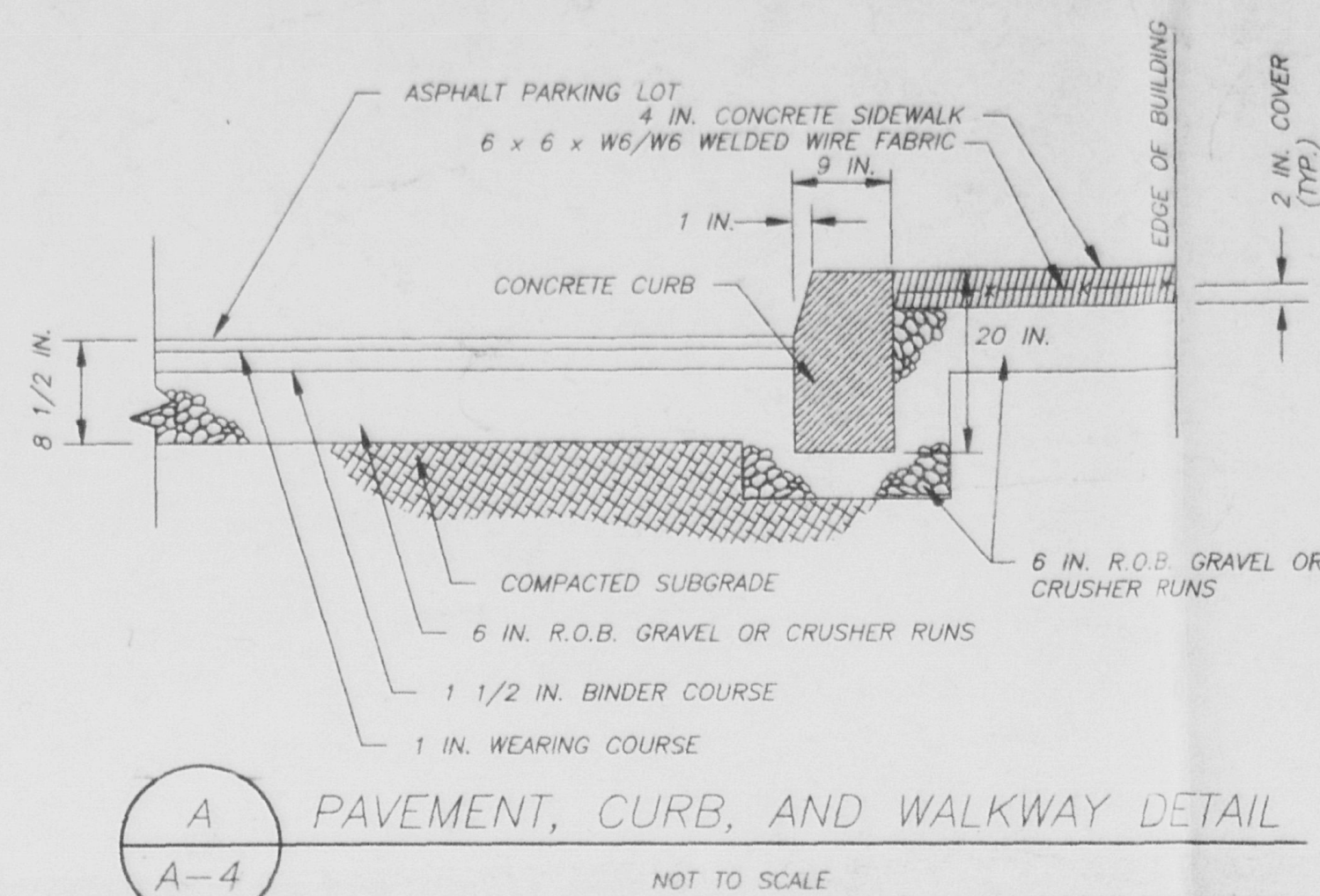
SITE PLAN APPROVAL GRANTED BY TOWN OF NEW WINDSOR PLANNING BOARD ON JUN 28 1994 BY CARMEN R. DUBALDI, JR. SECRETARY



REV. No.		DATE	BY	REVISIONS
1		4-25-94	KJ	GENERAL GRADE CHANGES REVISED ROAD, ADDED SECTIONS GENERAL REVISION
KWELLER, DUBIN & BAUMGARTEN ASSOCIATES, P.C. ENGINEERS and ARCHITECTS 197-17 HILLSIDE AVENUE HOLLIS, N.Y. 11423 TEL: (718) 464-4700 FAX: (718) 740-4230				
PROJECT: PROPOSED OFFICE BUILDING NEW WINDSOR BUSINESS PARK 296 TEMPE HILL ROAD ORANGE COUNTY, NEW YORK				
CLIENT: NEW WINDSOR BUSINESS PARK ASSOCIATES				
TITLE: GRADING/DRAINAGE PLAN				
JOB No.	DRAWN BY	SCALE	DATE	OF
94-15	R.K.	AS NOTED	7/15/94	4

GRADING/DRAINAGE PLAN

SCALE: 1"=20'-0"

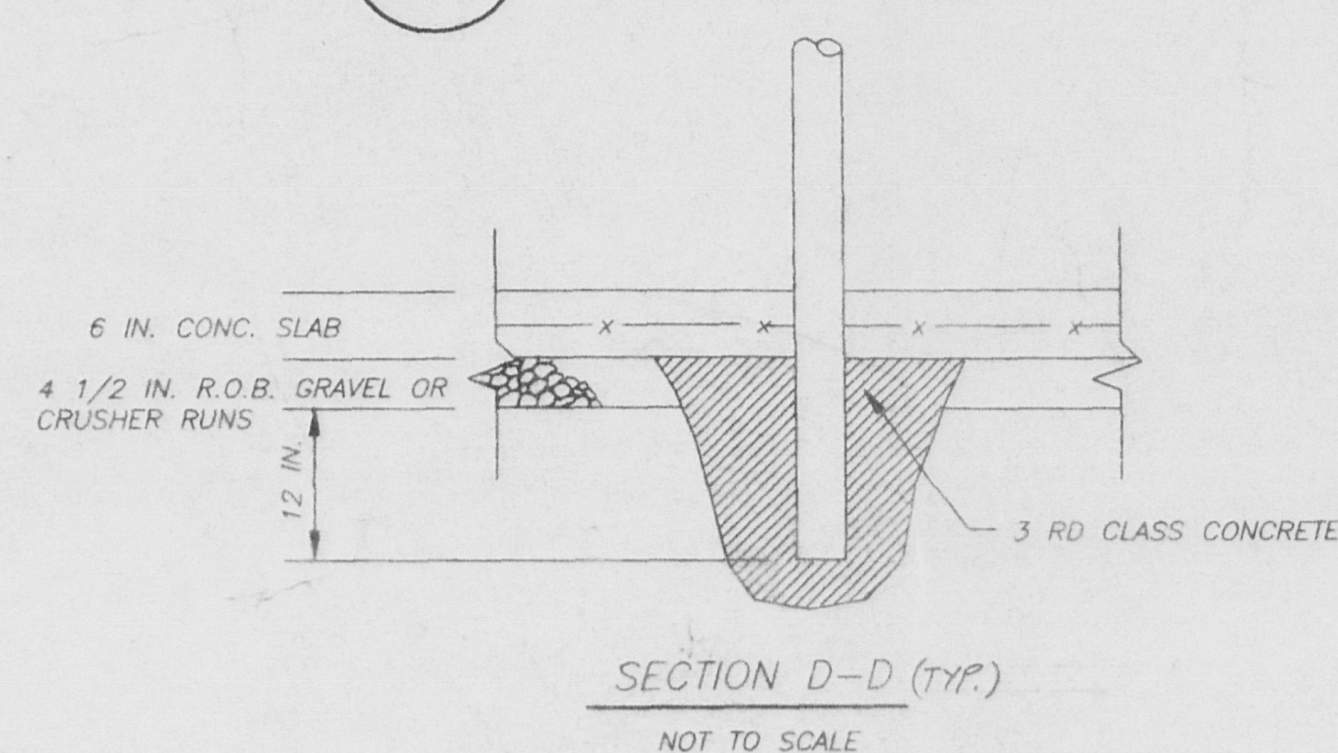


PARKING STALL CONFIGURATION

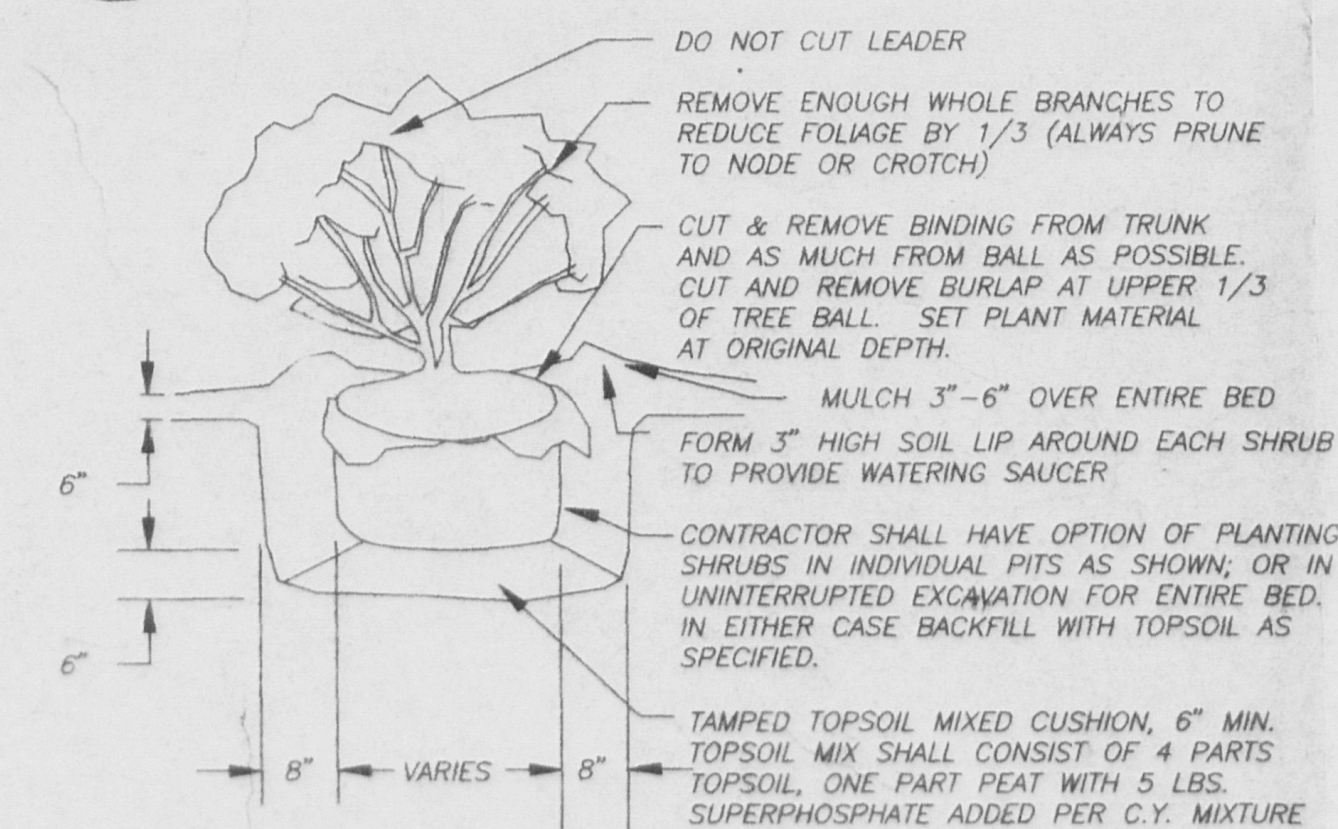
NOTE
PAINT FOR PARKING STALL STRIPPING, SAFETY ZONES AND TRAFFIC DIRECTIONAL ARROWS SHALL BE "TRAFFIC ZONE YELLOW" WITHOUT BEADS SUITABLE FOR APPLICATION BY BRUSHING OR MACHINE.

SCALE: 1/4" = 1'-0"

D OUTSIDE LIGHT POLE DETAIL



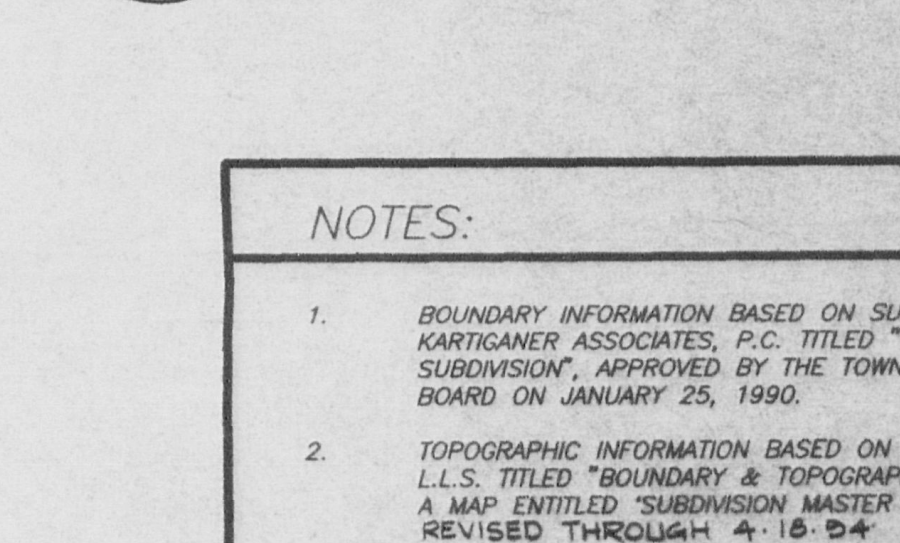
E TYPICAL TREE STAKING



G TYPICAL SHRUB PLANTING



F EVERGREEN TREE GUYING



NOTES:

- BOUNDARY INFORMATION BASED ON SUBDIVISION MAPS PREPARED BY KARTIGANER ASSOCIATES, P.C. TITLED "NEW WINDSOR BUSINESS PARK SUBDIVISION", APPROVED BY THE TOWN OF NEW WINDSOR PLANNING BOARD ON JANUARY 25, 1990.
- TOPOGRAPHIC INFORMATION BASED ON MAP PREPARED BY PETER R. HUSTIS, L.L.S. TITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF PARCEL 15.1.3 ON A MAP ENTITLED 'SUBDIVISION MASTER PLAN, NEW WINDSOR BUSINESS PARK', REVISED THROUGH 4-18-94".
- PARCEL 15.1.3 REFERS TO ORIGINAL NUMBERING ON SUBDIVISION PLANS.
- PROJECT DATUM IS SAME AS SUBDIVISION DATUM AS ESTABLISHED BY PETER R. HUSTIS, L.L.S.
- ALL PLANTS TO CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- ALL PLANTING BEDS TO BE MULCHED WITH SHREDDED BARK MULCH, DEPTH 2" - 3".
- ALL LAWN AREAS TO BE SODED.

SITE PLAN APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON JUN 28 1994
BY CARMEN R. DUBALDI, JR.
SECRETARY

REV. No.	DATE	BY	REVISIONS
1	6-3-94	RS	CONSIDERED DIMENSIONS FOR FINAL APPROVAL
2	4-25-94	RS	REVISED DATE OF SURVEY
KWELLER, DUBIN & BAUMGARTEN ASSOCIATES, P.C. ENGINEERS and ARCHITECTS 197-17 HILLSIDE AVENUE HOLLIS, N.Y. 11423 TEL: (718) 464-4700 FAX: (718) 740-4230			
PROJECT: PROPOSED OFFICE BUILDING NEW WINDSOR BUSINESS PARK 236 TEMPLE HILL ROAD ORANGE COUNTY, NEW YORK			
CLIENT: NEW WINDSOR BUSINESS PARK ASSOCIATES			
TITLE: DETAILS			
JOB No.	DRAWN BY	SCALE	DATE
94-15	R.H.	AS NOTED	7/16/94

